



STATEMENT OF HERITAGE IMPACT

Redevelopment of “The Old Fire Station”

11 Montague Street, Goulburn NSW | Lot 11 Section 6 DP 758468

Goulburn Mulwaree Council Heritage Conservation Area

Tim Lee Architects

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VERSION CONTROL

Version	Date	Author	Rationale
0.1	5 th March 2025	Tim Lee	Issue for DA

INTRODUCTION

Tim Lee Architects has been engaged, to prepare the Statement on behalf of the present owners of 11 Montague Street, Goulburn. This document forms part of the Development Application for works to the property.

BACKGROUND

This Statement of Heritage Impact has been prepared to assess the proposed alterations and additions to the existing building at 11 Montague Street, Goulburn, NSW. The building is an individually listed item with Local significance. The building is not listed as having State, or Federal Heritage register significance. The site and building does fall within the Local Heritage Conservation precinct and will be assessed against their contribution to the streetscape as well as the imbued history within the development of the City Centre.

SITE

LOCATION

11 Montage Street, Goulburn

Lot 11 Section 6 DP 758468



Figure 1: 11 Montague St, Goulburn outlined in red (Source: Six Maps NSW Government)

1.1 HERITAGE ITEM/ PRECINCT



The site is located 80m to the West of Auburn Street within the principal Commercial precinct of the City of Goulburn. The whole of the area falls within the Goulburn Heritage precinct.

There is a slight fall from the rear (Bergmark Street) to the front of the site (Montauk Street). The existing building is constructed across the entirety of the lot frontage and presents a uniform street elevation with strong architectural resolution of period detail befitting the civic importance of the original use as Goulburn's first emergency service (Fire Station).

The Old Fire Station is located in the main Central Business District heritage precinct. The predominant building typology is period 2 level commercial. Buildings are built boundary to boundary and all provide clear indications of the period of their construction.

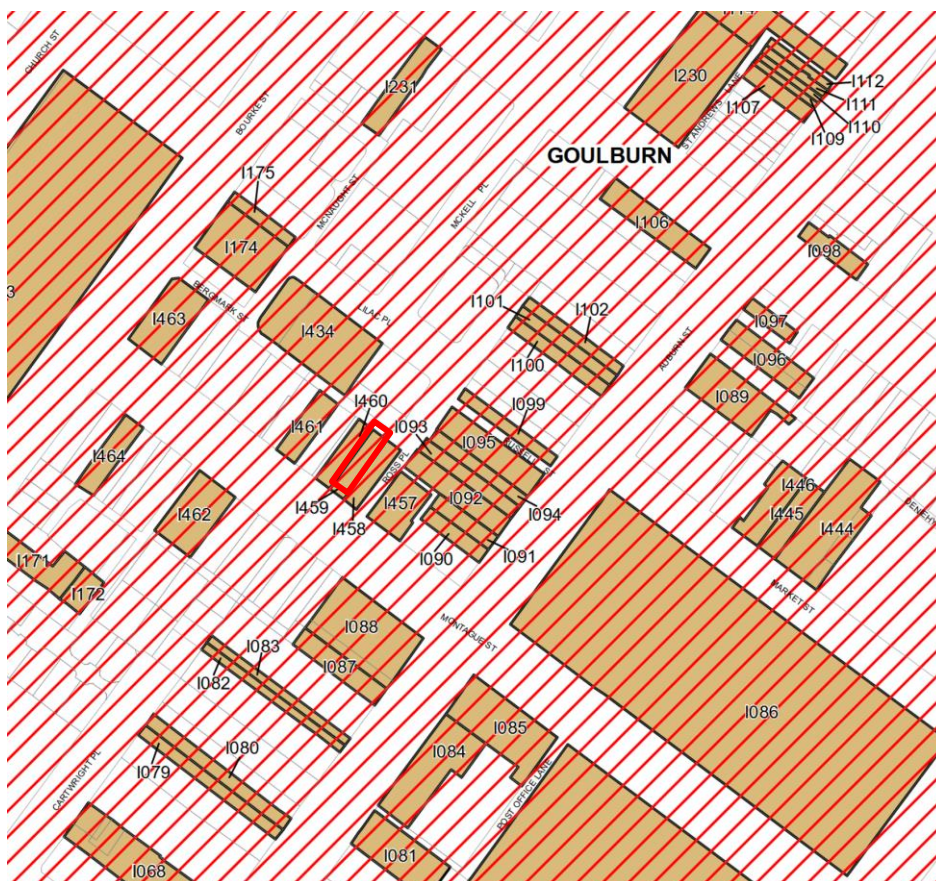


Figure 3: Goulburn Heritage precinct – extract from Heritage mapping (GMC LEP Mapping)

The site, highlighted in red, is located within the Goulburn Heritage Precinct.

1.2 HERITAGE LISTINGS

Listing type	Item and document details	Listing number
Local heritage item	The site falls within the Goulburn Heritage Precinct, the site is individually listed.	1 459
State Heritage Register	N/A	N/A
Commonwealth Register	N/A	N/A
National Heritage List	N/A	N/A
World Heritage Buffer Zone	N/A	N/A
World Heritage List	N/A	N/A

1.3 SITE AND ITS CONTEXT

Existing street elevation photography.

The following photographs focus on the immediate streetscape adjacent to and opposite the subject building site.



Figure 4: View of the Montague Street elevation (Source: Google Maps)



Figure 5: View Looking across to Ross Street – subject building is Left of frame (Source: Google Maps)



Figure 6: View to the State significant Elmslea Chambers (Source: Google Maps)



Figure 7: View of the Dimmy's Building on the opposite side of the street – this is the 1950's addition not the original early 1900s store front (Source: Google Maps)



Figure 8: View looking South West from the subject building, St Saviors Cathedral is to the right of frame (Source: Google Maps)



Figure 9: View to the rear of the site from Ross Place. Note the 1980's addition to Bergmark Street (Source: Google Maps)



Figure 10: Street view of the site and significant adjoining buildings (Source: Google Maps)

The dominant streetscape features include:

- Uniform setbacks
- Two storey construction (predominantly)
- Symmetrical facades
- Masonry elements detailed with rendered inserts
- Parapet wall feature frontages
- Masonry chimneys
- Strong ridge line consistent across the majority of the building setting the visual depth of the primary street frontage

The massing and proportion of the building has created a series of strong datum lines evident in

- Floor levels
- Gutter lines and
- Ridge lines

The predominant masonry two level construction has developed an aesthetic replicated across the individual commercial building. Features such as gable end roof forms, parapet walls, towers, masonry arched openings and symmetrical fenestration treatments add variety and a sense of individuality while maintaining an homogenous building typology throughout the street.

The height and composition of the masonry detail elements reinforce these lines and maintains the cohesive form of the overall streetscape.

1.4 PROPOSED WORKS AREA

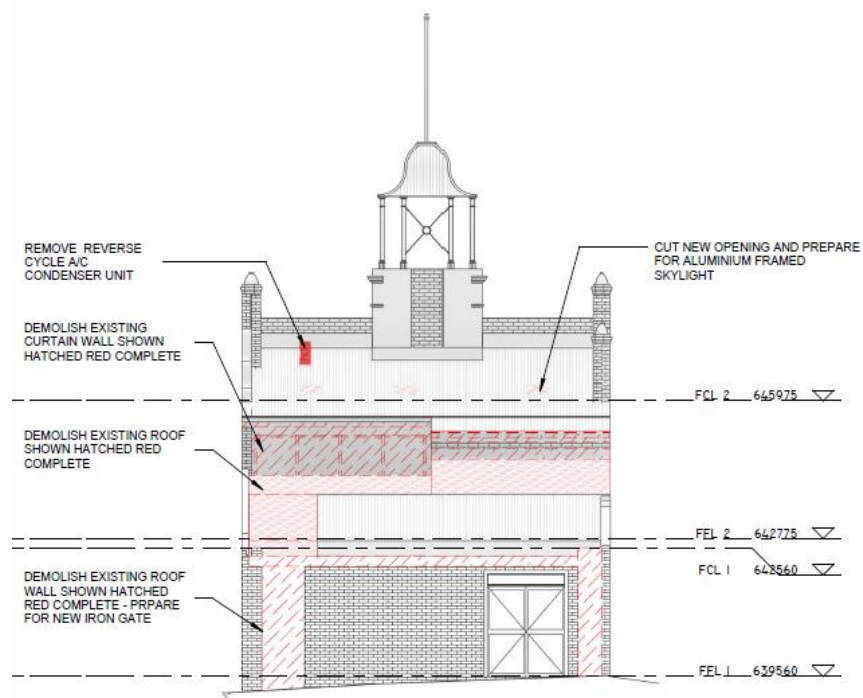


Figure 11. Bergmark street view. Partial demolition of the existing structures to the rear of the site is shown hatched in red (Source: TLA)

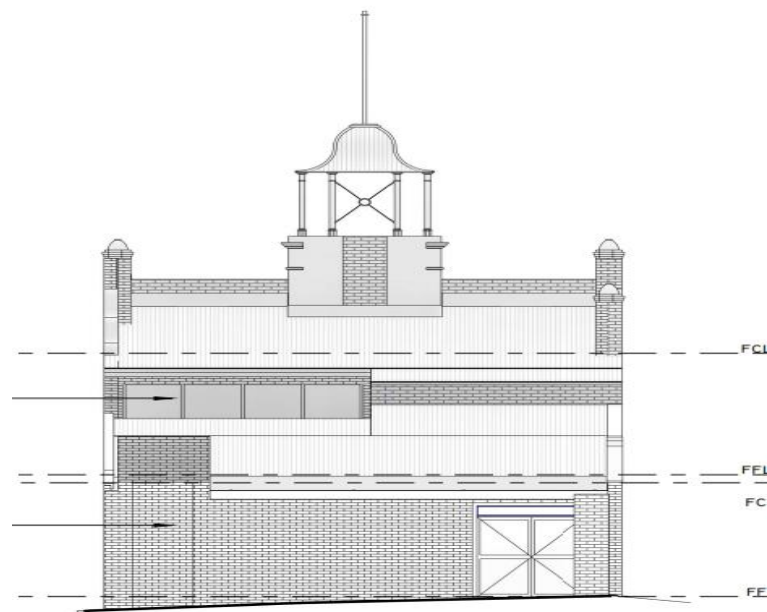


Figure 12. Proposed new works retain the basic form of the original rear elevations (Source: TLA)

The multi-level portion of the proposed development sits well behind the existing single level street elevation. The visual separation from the main street frontage will help to reduce the impact and bulk of the proposed new building element. The view from a distance and at an angle to the main façade shows the whole of the building bulk will be visible in the streetscape, however the positioning behind the main facade coupled with the existing street elevation will direct focus to the smaller scale elements that make up the existing streetscape.

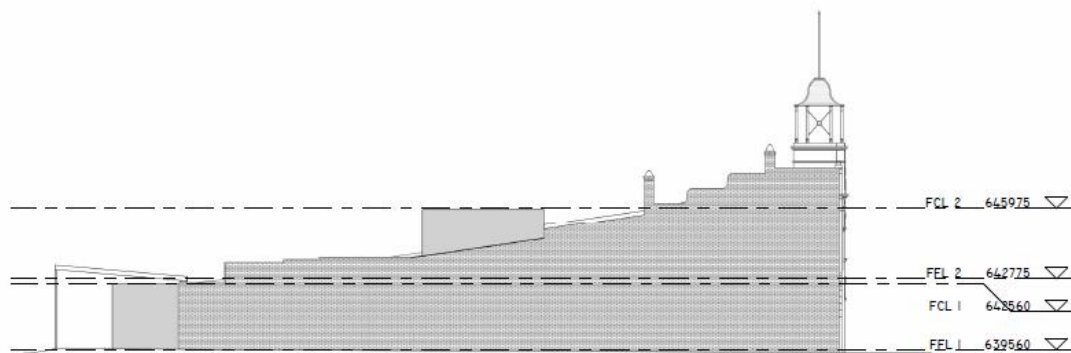


Figure 13: Western elevation – the massing of the original is retained. (Source: TLA)

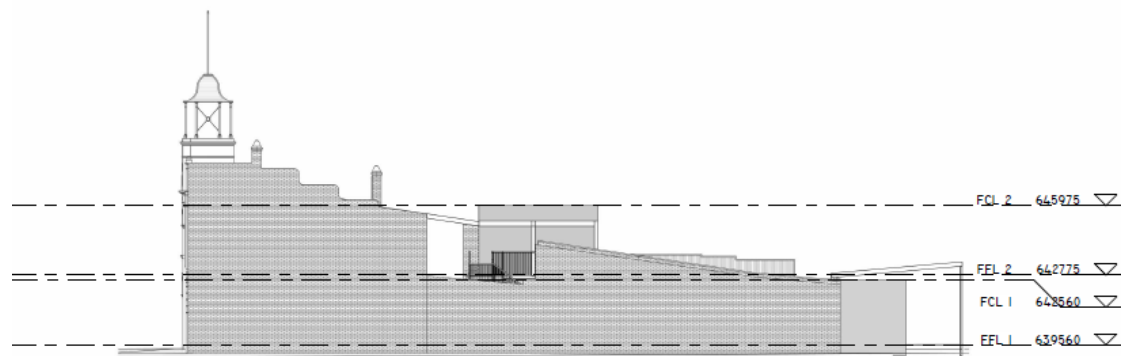
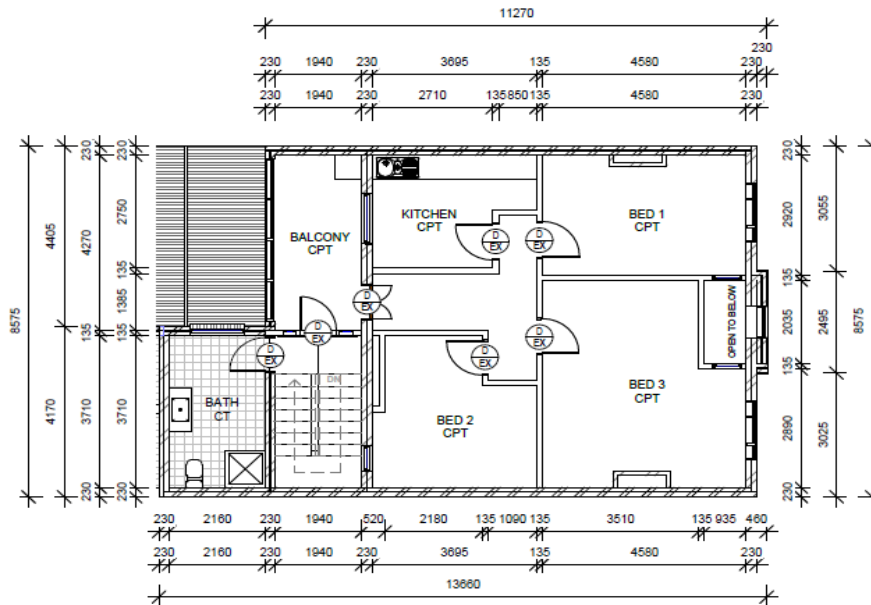


Figure 14: Eastern elevation – the addition of the covered rear deck will be hidden behind the adjoining building to the East (Source: TLA)

The side and rear setbacks meet the requirements for fire separation of commercial buildings. The additional upper floor balcony is screened from the west and overlooks the internal courtyard – there will be no impact on adjoining neighbors.

Overall, the proposed alterations will retain the existing building form. There will be no alteration to the heritage significance of the Montague Street Façade. The internal stair will remain and an additional external fire escape added to meet building code requirements. The escape and courtyard are created by opening up the covered area in the single level section of the building.

The sections of the building undergoing the most alteration were added in the early 1980s and are considered unsympathetic to the integrity of the original structure. Refer to the following figures 16 to 20.



First Floor plan - Existing

Figure 17 61-63 11 Montague Street existing conditions plan (Source: TLA)

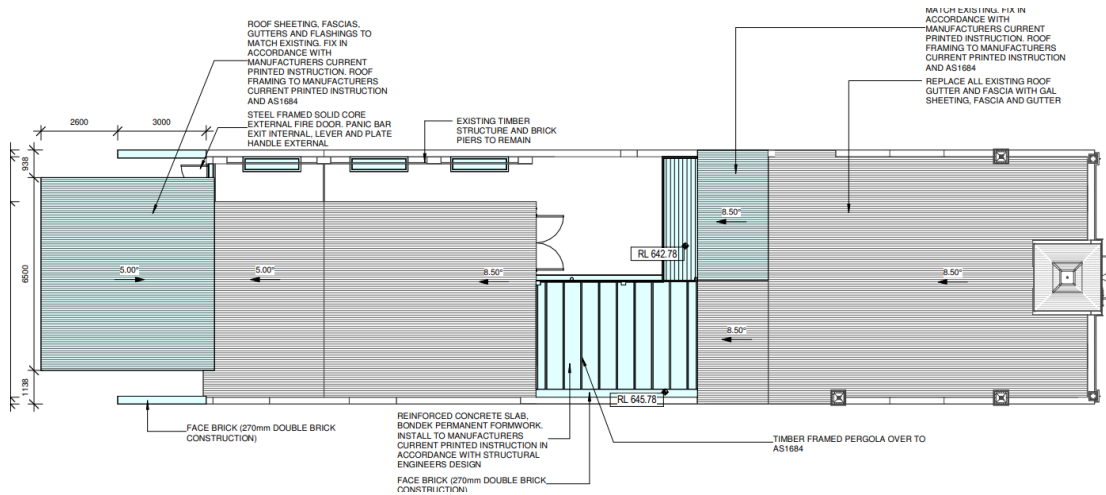


Figure 18 11 Montague Street proposed development overall roof plan (Source: TLA)

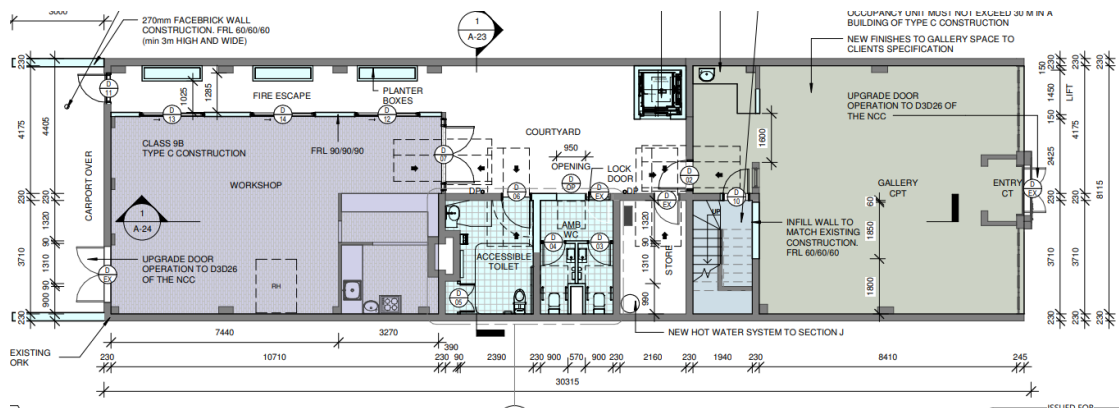


Figure 19 11 Montague Street Goulburn proposed ground floor plan (Source: TLA)

The proposed ground floor works will remove the office fit out and return the space to the original proportions of the fire house vehicle garage, the outdated and non-compliant toilets will be within the confines of the original single level portion of the building. The courtyard will be opened to the sky once more and a new fire egress formed by opening up the 1980's restaurant addition.

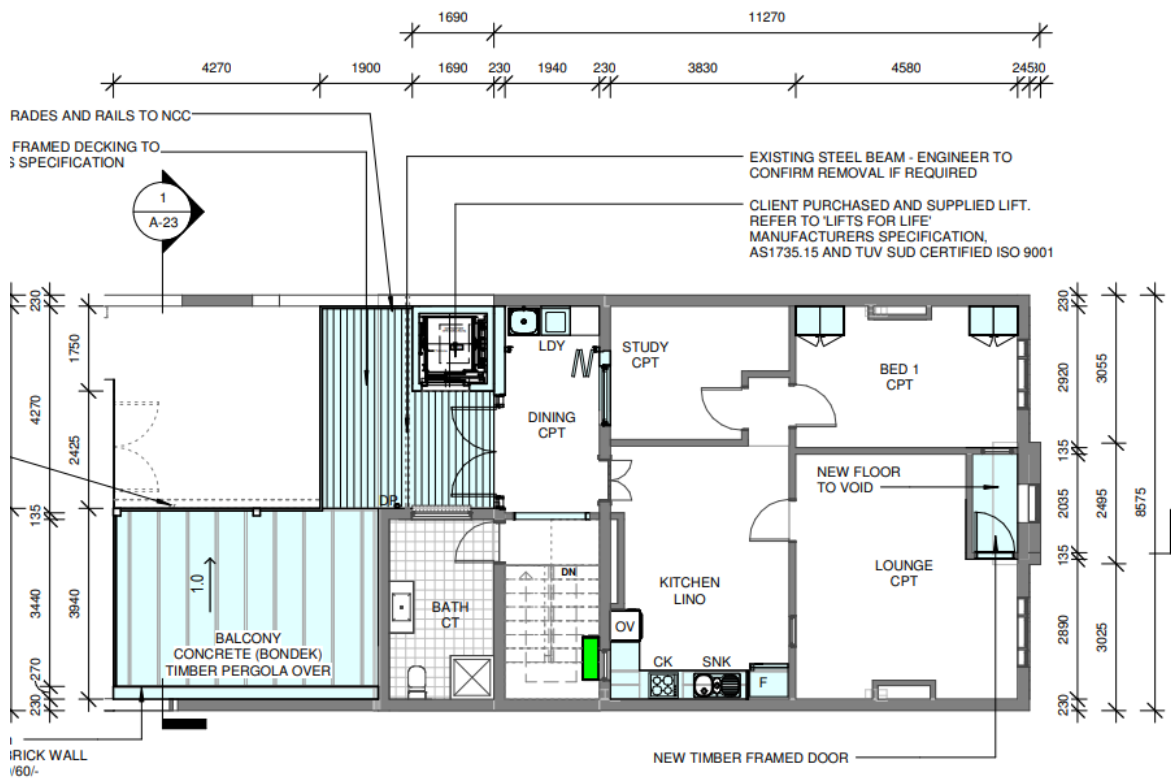


Figure 20 11 Montague Street Proposed first floor plan (Source: TLA)

The upper floor will be converted into a 2 bedroom residence, the existing enclosed verandah will be converted to a dining room, the existing 4 internal rooms to the main building will be reconfigured into 2 bedrooms, lounge and kitchen areas, the existing bathroom will remain and a new outdoor upper-level circulation and recreation area will be incorporated into the courtyard areas.

1.2 SITE SUMMARY HISTORY

1.2.1 OVERVIEW

11 Montague Street is part of the original Allotments 1 & 2, Section 6, Goulburn, originally sold to William McDonald in 1836. Part of these allotments were sold to the government in 1889 for the purpose of erecting a fire station. The station was designed by a significant local architect, E. C. Manfred, and completed in 1890. It was used as a fire station for eighty years and decommissioned in 1971. It was sold to private owners and subsequently renovated to be used as a bar, a restaurant and law offices. It has undergone several renovations over the years, but the exterior facing Montague St has remained largely the same.

1.2.2 EVENTS AND OWNERSHIP

The following table outlines key events and ownership by year.

(PART OF) ALLOTMENT 16, SECTION 25

Date	Description	Reference
Jun 1836	Land Grant to William McDonald of Allotments 1 & 2, Section 6	Serial 45, Nos 6 (Allot 1) & 7
Sept 1837	Conveyance MacDonald to Thomas Brodie of Allotments 1 & 2, Section 6	L-946
March 1889	Conveyance of part of Allotments 1 & 2, Section 6 from Brodie (via executors) to Henry Shuttleworth Gannon	Book 410 No 84
March 1889	Conveyance H.S. Gannon to Queen Victoria of half the part Allotments 1 & 2, Section 6	Book 410 No 769
April 1973	Transfer of land from the Government to Llenoco Pty Ltd of Allotment 22 of Section 6, plan catalogued No. Goulburn 129-834	Vol 12077 Fol 235
October 1981	Transfer Llenoco Pty Ltd to Tofs International Pty Limited	S746417
June 1986	Transfer Tofs International to Norman Mensforth & Sandra Mensforth	W345397
September 1988	Transfer Mensforth to Tourtown Pty Ltd	X853844
March 1990	Title Automation	22/6/758468
Sept 2001	Transfer Tourtown Pty Ltd to Morris Owen, Ian Cheetham, Meredith Paton & John Bradbury	8435328
December 2005	Transfer from Meredith Paton to Ian Cheetham & Morris Owen	AC662
May 2011	Transfer from Owen, Cheetham & Bradbury to Ian Cheetham & John Bradbury	AG263099
Jan 2025	Transfer from Cheetham & Bradbury to Diana Kirkpatrick & Neil Boughton	AU762267

DETAIL

All conveyance details can be found on the Events & Ownership tables above. All numbered references can be found in Appendix A.



Figure 21: Detail original allotments Goulburn Town Goulburn, Allotments 1 & 2, Section 6 with approximate location of property outlined in blue.

11 Montague St, Goulburn (22/6/758468) was originally part of Allotments 1 & 2, Section 6 of the Town of Goulburn (see Figure 2). The land was bought by William McDonald, from Darlinghurst, Sydney, in 1836. He sold the lots to Thomas Brodie, a builder from Sydney, the following year. Brodie bought several properties around Goulburn including the site of the now Dimmeys Building (1). When he died at age 37 in 1847 (2) his estate passed to his son, Thomas Brodie Jr (3).

Brodie Jr. also died young, at age 32, in 1878 (4). Four years later part of Allotments 1 & 2 of Section 6 was subdivided and offered for sale by the trustees of Brodie's Estate. The advertisement reads '*Brodie Estate...4 Most Central Building Allotments in the Heart of the City, Being Lots 8, 9, 10, and 11 of the Subdivision of Allotments 1 and 2 of Section 6 Montague Street, with Brick Cottage and other Improvements thereon*' (5). What was to become 11 Montague Street was Lot 9 in this subdivision.

Lots 10 and 11 in this sale sold within a few months of the advertisement (Book 249 No 383) but Lots 8 and 9 did not sell for several years, when ownership was transferred to Henry Shuttleworth Gannon in 1889 (Book 410 No 84). Figure 3 shows the detail of a fire insurance map from around this time (circa 1886) indicating it is likely that there were no buildings on this site at the time of this sale.

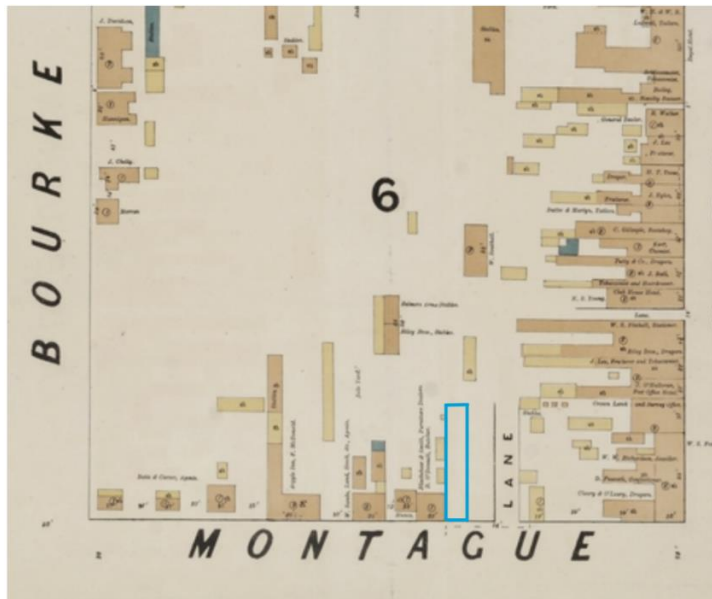


Figure 22: Detail fire insurance map of Goulburn, circa 1886 (10) showing Montague St with approximate location of 11 Montague St outlined in blue.

According to the conveyance, the trustees of Brodie estate had had an agreement with Gannon's father, lawyer and sometime Mayor of Goulburn John Thomas Gannon, to sell him these lots for eight hundred and seventy-six pounds and fifteen shillings. However, by the time J. T. Gannon died in August 1887 no conveyance had occurred. In 1889, his son H. S. Gannon approached the trustees and insisted as inheritor of his father's estate, they convey the property to him for the same price. They agreed and the transfer occurred. Figure 4 shows the size and location of the property bought.

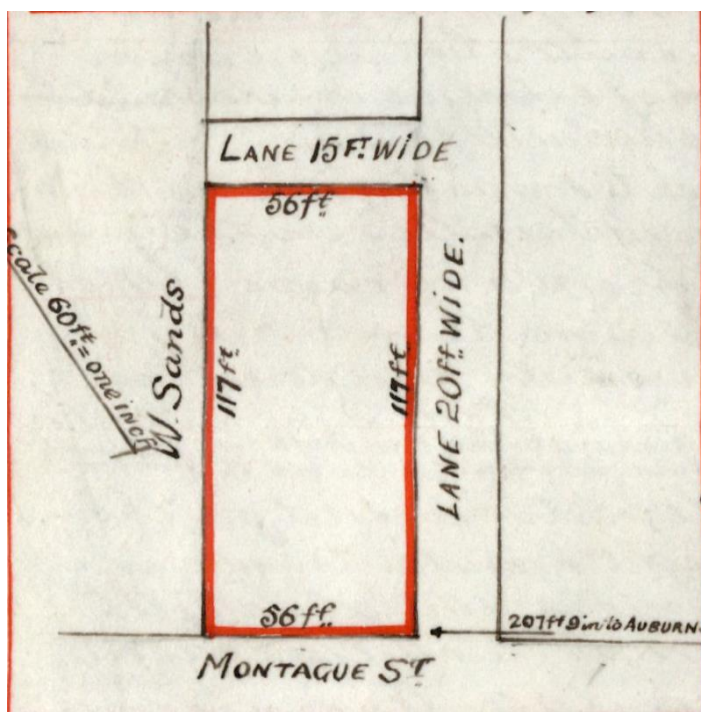


Figure 23: Diagram of property sold by the estate of T. Brodie (Book 410 No 84)

This activity was prompted by all the construction that was occurring in the town at this time. Two years prior to the Gannon conveyance, a new town hall was to be built between the post office and the existing fire

station, on a site on Auburn Street (6). However, it was subsequently decided to include the land on which the fire station sat as part of the new town hall site, and to provide land for a new fire station around the corner in Montague Street, near the new courthouse (7). When the Minister of Justice visited Goulburn in August 1887, he didn't like how the new fire station would impede the view of the courthouse, so he revoked the grant for the land previously approved, at the same time recommending the government provide a grant for another site in lieu of the one cancelled (8).

To address the need for a new fire station, in November 1887, the Government offered to buy 28ft frontage to Montague St, Lot 9 from the subdivision, from Mr. Gannon for 500 pounds (9). This triggered a need for H. S. Gannon to obtain the official title to the lot, although this didn't occur for another year and a half. As soon as he did, he immediately sold the lot to the government (Book 410 No 769).

The construction of the fire station did not occur until the latter part of 1890. A newspaper article of the time stated: *'The material used will be brick, with iron-roof, which will be surmounted by a bell tower'* (11). The same article indicated the builder was Mr. Dalton and the architect Mr. E. C. Manfred.

E. C. Manfred was a significant Goulburn architect. He was a pupil of Edmund Blacket and served as the Clerk of Works supervising the building of St Saviors Cathedral Goulburn for the Blacket Brothers. He was responsible for many of the key buildings in Goulburn including the town hall, the hospital, the mechanic's institute, the public baths, and the Furner & Jones Department Store (now known as Dimmeys) as well as a range of private residences, commercial properties and religious buildings (12).

Manfred came up with several designs for the fire station (p. 15, ref. 12). The final design, completed in Feb 1891, was described as having *'two floors, and is of brick with iron roof. On the ground-floor, facing the street, is the engine-room, 28ft by 26ft. It has a brick floor...At the rear of the engine-room is a guard-room, 14ft by 11ft..Adjoining the guard-room there is a bathroom...On the top-floor there is a board-room 15 feet 6 inches by 15 feet...On the same floor are quarters for the caretaker...consisting of a sitting room, 15 feet by 10 feet and two bedrooms, 12 feet 6 inches by 10 feet and 12 feet 6 inches by 9 feet. In the yard at the rear is a kitchen, 12 feet by 11 feet'* (13).

The fire brigade operated out of this site until 1971 (14) with several changes occurring over the years. In 1895 the station was painted and a new lamp put up in front of the station (15). In 1913 electricity was installed (16), the entrance to the station was widened by 13 inches and heightened by 6 inches, and the original doors for the engines opening to Montague St were replaced by folding doors for pedestrian safety (17).

At the time of its construction, fire engines were pulled by horses which had to be stabled near the building. A freehand sketch thought to be the design brief to the architect Manfred shows horse stabling (p. 15, ref. 12); a 1914 article mentions the stables being *'situated down the yard'* (18); and an article from 1917 heralding Goulburn's new motor fire engine refers to the horse having to be brought *'50 yards and attached to the fire-fighting appliances'* (19). It is unclear whether the stables were situated on the 11 Montague St property or on another nearby.

In 1921 more substantial remodeling of the property occurred. The plan was to use the existing brick walls as much as possible to contain the cost, and to take the opportunity to connect to the sewer (20). A description states *'Captain Mallard's residence is now confined to the upper storey, and the whole of the lower portion of the building has been set apart for housing the fire engines and equipment and for the use of members of the local brigade. Besides well-fitted watch and lounge rooms, a commodious apartment has been equipped for the recreation of the men'* (21). As the original fire station only had a bathroom on the ground floor, this is likely the point at which the current upstairs bathroom was installed.

In 1948 it was reported that *'for the first time in 12 years'* the fire station was painted (22); and in 1949 tenders were invited for *'additions and minor alterations to the Goulburn Fire Station'* (23). It is unknown what was done at this time.

A prominent feature of the fire station design is the bell tower that was built to house the substantial bell the town had purchased in 1885 (24). Despite it being replaced by an electric siren in 1934 (25) it remained in the turret until 1964 when taken down and lent to St Nicholas' Church North Goulburn (26).

The following photos (figures 5, 6, and 7) show the exterior of the fire station from circa. 1900 to 1960's.



Figure 24: Early photo of fire station (27) Date is prior to the old wooden doors being replaced in 1913 (17).



Figure 25: Fire Station Goulburn (28) after the introduction of motorised engines, post 1917 (19).



Figure 26: Fire Station Goulburn circa 1960s (29). Note the bell is still in place, so photo dates from prior to 1964 when it was removed (26).



Figure 27: Old fire station circa. 1987 with 'Sirens' restaurant sign displayed (Source: Goulburn Mulwaree Library <https://goulburn.spydus.com/cgi-bin/spydus.exe/ENQ/OPAC/ARCENQ?SETLVL=&RNI=102888>)

In 1970, the corner of Bourke and Clifford Streets was determined to be the site of a new fire station (30) and by 1971 the old site was decommissioned (14). The following year it was reported that the old fire station had been sold to an unnamed Goulburn group (31).

The purchaser was the company Llenoco Pty Ltd (Vol 12077 Fol 235) who had a registered office at 143 Bourke St, Goulburn. It is unclear what they did with the building during this period, but by 1981 they had sold it to another company Tofs International (Transfer S746417). During their tenure, the building housed 'The Old Fire Station', a bar and bistro, (28) and hosted live music (32). This is likely the period when renovations were made to the back of the building to incorporate a commercial kitchen and dining space.

The building changed hands again in 1986 when it was sold to Norman and Sandra Mensforth (Transfer W345397) who ran 'Sirens' restaurant and spent over \$100,000 on upgrades to the building (see figure 8) (33). In 1988 the Mensforths sold it to Tourtown Pty Ltd (Transfer X853844) which was owned by the Mokany brothers who were responsible for the Goulburn Big Ram tourist attraction (34).

By 1994 Tourtown had leased the premises to a legal firm then occupying the premises next door (13 Montague Street), and in 2001 sold to lawyers Ian Cheetham, Morris Owen, Meredith Paton, and John Bradbury (Transfer 8435328). In the next ten years ownership was redistributed among this group, with final ownership being Ian Cheetham and John Bradbury in 2011 (Transfer AG263099). The property was internally renovated and used as lawyers' offices over this entire period.

In 2025 Cheetham and Bradbury sold it to Neil Boughton and Diana Kirkpatrick (Transfer AU762267) who wish to use it as their private residence.

1.3 PHYSICAL ANALYSIS

APPEARANCE, CONSTRUCTION AND CONDITION



Figure 28: 11 Montague Street, Goulburn – left of frame (Source: TLA)



Figure 29: Rear of 11 Montague Street, Goulburn. This addition was part of the 1980's renovation, converting the Fire Station to a Restaurant and Wine Bar (Source: TLA)



Figure 30: 11 Montague Street, Goulburn View looking to the East (Source: TLA)



Figure 31: Detail of the bell tower element (Source: TLA)

The Old Fire Station is a significant contributory element within the Montague Street streetscape. The building presents a detailed two level rendered masonry elevations with bell cupola to the street, the elevation has a symmetrical composition about the centrally placed front door element and maintains a series of interictally detailed arch, parapet and corbelled details across the whole of the elevational treatment

Corbel and barge detailing provides a strong horizontal reference datum across the elevation. Raised end and party walls capped in rounded segmented masonry elements provide another significant elevation feature.

The building is in good condition generally. A series of ill-considered alterations and additions in the past 40 years have impacted the integrity of some original fabric elements – particularly the single level elements to the rear of the main two storey fire house. Internal renovations to the upper floor have altered and removed a large percentage of original fabric and included insensitive verandah infill, air conditioning installation and bathroom fit out. There is evidence of some minor age-related damage internally and the rear sections are not considered to significantly contribute to the overall heritage precinct.

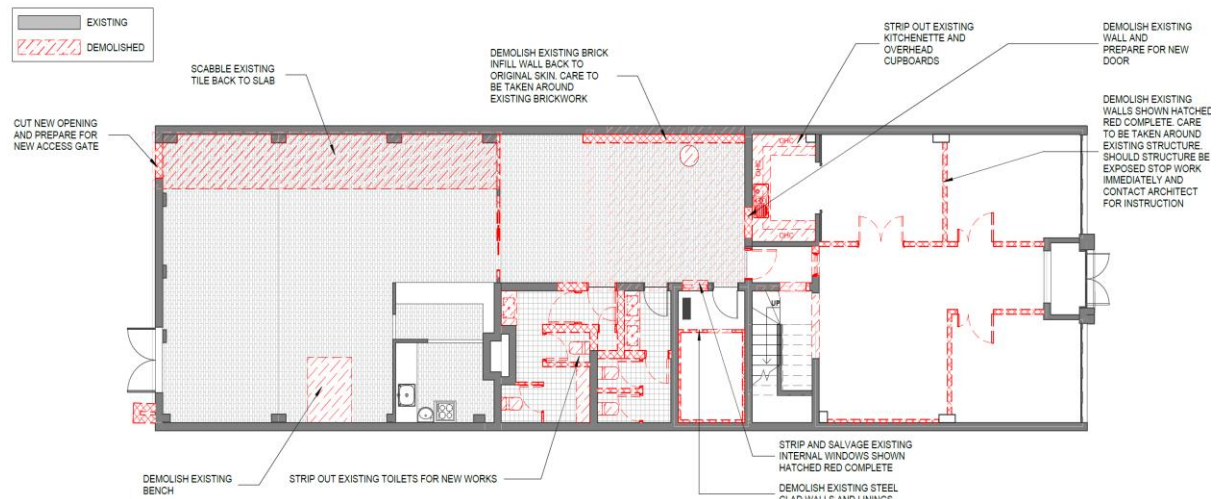


Figure 32: Ground floor demolition outlined in red (Source: Six Maps NSW Government)

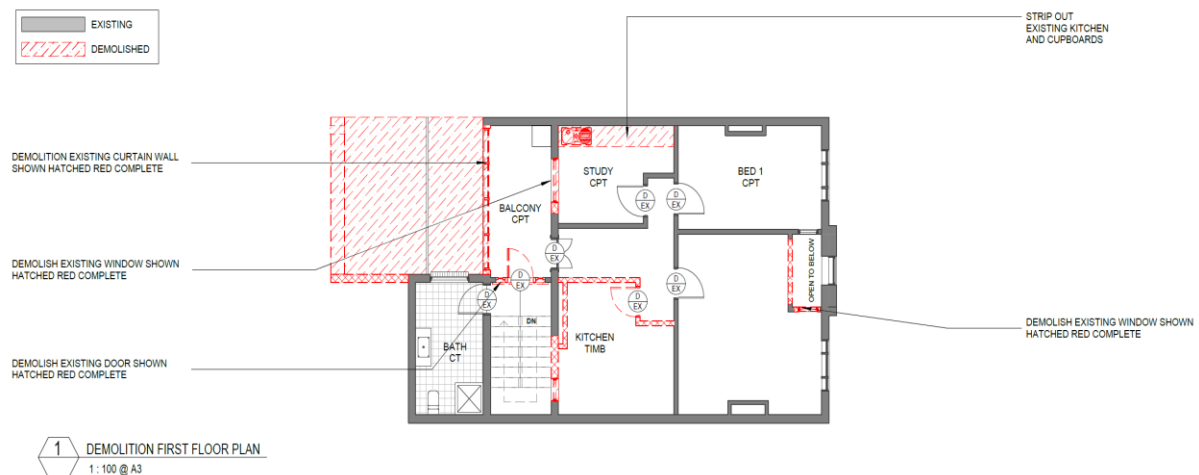


Figure 35: First floor demolition outlined in red (Source: Six Maps NSW Government)

The outlined area is proposed for demolition. The rear kitchen/restaurant elements do not hold any unique detail, unique element, unique structural solution or significant contributory element warranting retention. The rear section of the building is not a contributory element.

1.4 SITE AND ITS CONTEXT

STREET SCAPE ANALYSIS PLUS DESIRED OUTCOMES FROM THE GOULBURN HERITAGE STUDIES



Figure 25: View looking West along Bradley Street (Source: Google Maps)



Figure 26: View looking East along Bradley Street from Bourke Street intersection (Source: Google Maps)



Figure 27: Northeastern view of Bradley Street showing the shift from residential to commercial property (Source: Google Maps)



Figure 28: 61-63 Bradley Street, Goulburn (Source: Google Maps)



Figure 29: 61-63 Bradley Street, Goulburn (Source: Google Maps)

1.5 HERITAGE ASSESSMENT AND SUGGESTED DEVELOPMENT CONSIDERATIONS

The following extracts are from the Goulburn Mulwaree Development Control Plan and Draft Heritage Study 2008.

architectural character of the area, one of the strengths of the CBD.

- Area around the Park has been improved by traditional street lights, good pedestrian friendly traffic management, and landscape management
- Adaptively reused early building, now Roses Café, creates a good meeting point in an excellent context of Victorian and late Georgian public buildings, and main park. Although the adaptation resulted in reduction of understanding of internal configuration it has a good ambience and friendly service that provide enjoyable environment to the clientele. The retractable awning could be aligned with the adjoining building's cornices. Vertical banners clutters the façade so as the large business sign.



Figure 51: Montague Street looking up from Sloane Street. The Courthouse & Belmore Park make exceptional contribution to the streetscape

4.8 MONTAGUE STREET

Montague Street forms the central axis of the original street grid pattern with extensive view corridors up and down on both directions along the street focussed on the St Saviour Cathedral hill.

- Very good residential streetscape between Church and Cowper Streets
- Tree lined streetscape
- Front garden landscaping with no boundary fencing
- Very good consistent streetscape between Auburn and Bourke Street terminating with the St Saviours Cathedral however it is broken with ANZ bank building
- East end of the street dominated by the Goulburn Courthouse Group and Belmore Park two of the most important early features that balances the grid pattern with the Cathedral along the central axis. The opportunity to rationalise view corridors hence the axis around the Courthouse and along Montague Street exists. This may involve improving the relationship of the existing tourist information centre with the central axis and relocation of the amenities block in the Park (or appropriate treatment to mitigate its dominance). Creation of clear, attractive and strong focal points between the Courthouse and the Park and along East-West axis will allow improvement and enhancement of the significant heritage

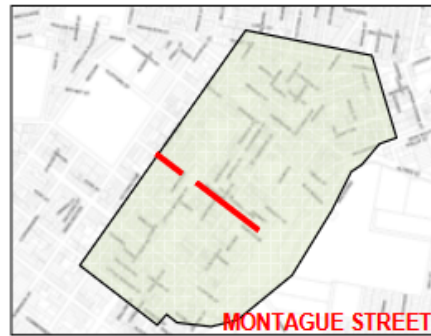


Figure 49: Roses Café on Montague Street is a popular meeting place. Note retractable awning, modified façade for new glazed doors and vertical banners



Figure 50: Montague Street looking towards Bourke Street where it terminates with the St Saviours Cathedral

architectural character of the area, one of the strengths of the CBD.

- Area around the Park has been improved by traditional street lights, good pedestrian friendly traffic management, and landscape management
- Adaptively reused early building, now Roses Café, creates a good meeting point in an excellent context of Victorian and late Georgian public buildings, and main park. Although the adaptation resulted in reduction of understanding of internal configuration it has a good ambience and friendly service that provide enjoyable environment to the clientele. The retractable awning could be aligned with the adjoining building's cornices. Vertical banners clutters the façade so as the large business sign.



Figure 51: Montague Street looking up from Sloane Street. The Courthouse & Belmore Park make exceptional contribution to the streetscape

Extract GMC CBD Master planning, heritage and conservation principles July 2008 – draft report (City Plan Heritage)

5.2 PRINCIPLES FOR GOULBURN CENTRAL BUSINESS DISTRICT

- *Retain the existing street pattern that reflects the successive original grid subdivision pattern of the CBD and its extended curtilage.*

The proposed development retains the existing streetscape in full, there is an addition of a compliant access ramp however the treatment of the required handrail element will be consistent with metal work details in the area

- *Keep the distinctive predominantly uniform single and two-storey cohesiveness of the*

Streetscapes, including leafy quality and garden settings (where applicable) in accordance

to their identified characteristics in section 3.0 of this report.

The proposed landscaping will provide a continuation of the predominant plantings in the area and provide additional low water usage selections to augment and enhance the existing area.

- *Buildings that are not listed as heritage items but contribute to the streetscape and their context should not be demolished and their contribution to the area is to be maintained or enhanced. It is an aim to improve the streetscape qualities of buildings through the removal or reversal of unsympathetic elements, where applicable.*

The proposed development has been designed to retain all of the significant streetscape elements of the original single-level duplex building fronting Bradley Street.

- *New contemporary dwellings and commercial developments are allowable but must account for the significance and character of the area and ultimately contribute to the special character of the CBD. New contemporary buildings must strive to enhance the significance of the area by contributing to the quality of the built environment.*

The proposed new multi-level element incorporates setbacks and massing to maintain the significance of the precinct and to maintain the overall visual appeal of the existing streetscape and surrounding curtilage

- *Proposals for alterations and infill dwellings/commercial developments including corporate businesses should be considered on a performance basis with particular regard to the significant patterns of forms, scale and materials in the streetscape (refer to sections 2.4, 2.5 & 3.0) by aiming to retain and enhance those patterns and qualities.*

Noted.

- *No new intrusive changes or elements should be permitted in the residential portions of the study area including high, visually impenetrable front fences, the painting and rendering of face brick façades, the removal of original detailing, or unsympathetic alterations and additions such as first floor additions over the original front section of a dwelling and the enclosure of verandas/balconies. First floor additions must not o impact upon the contribution of a building to the streetscape, o should be restricted to the rear of a dwelling, o must minimise impact upon the original roof form when viewed from the public domain, o should be recessive and not dominate the original form and character of the dwelling, and o first floor additions, which interrupt the front roof plane of a heritage item or contributory building, should not be permitted.*

NOTE the proposed development adheres to the above recommended treatment for existing development. The proposed renovation will maintain the integrity and prominence of the old fire station in the overall streetscape. The masonry elements of the southern façade of the infill elements are all retained intact

- *Established character of the main streetscapes should be reflected in the form, design, materials and signs of the infill and corporate developments. New developments should be compatible with the dominant streetscape and town centre character.*

The proposed development will use a material palette and detailing consistent with the overall forms and palette of the existing streetsca

2.0 SIGNIFICANCE

2.1 SUMMARY OF STATEMENT OF SIGNIFICANCE

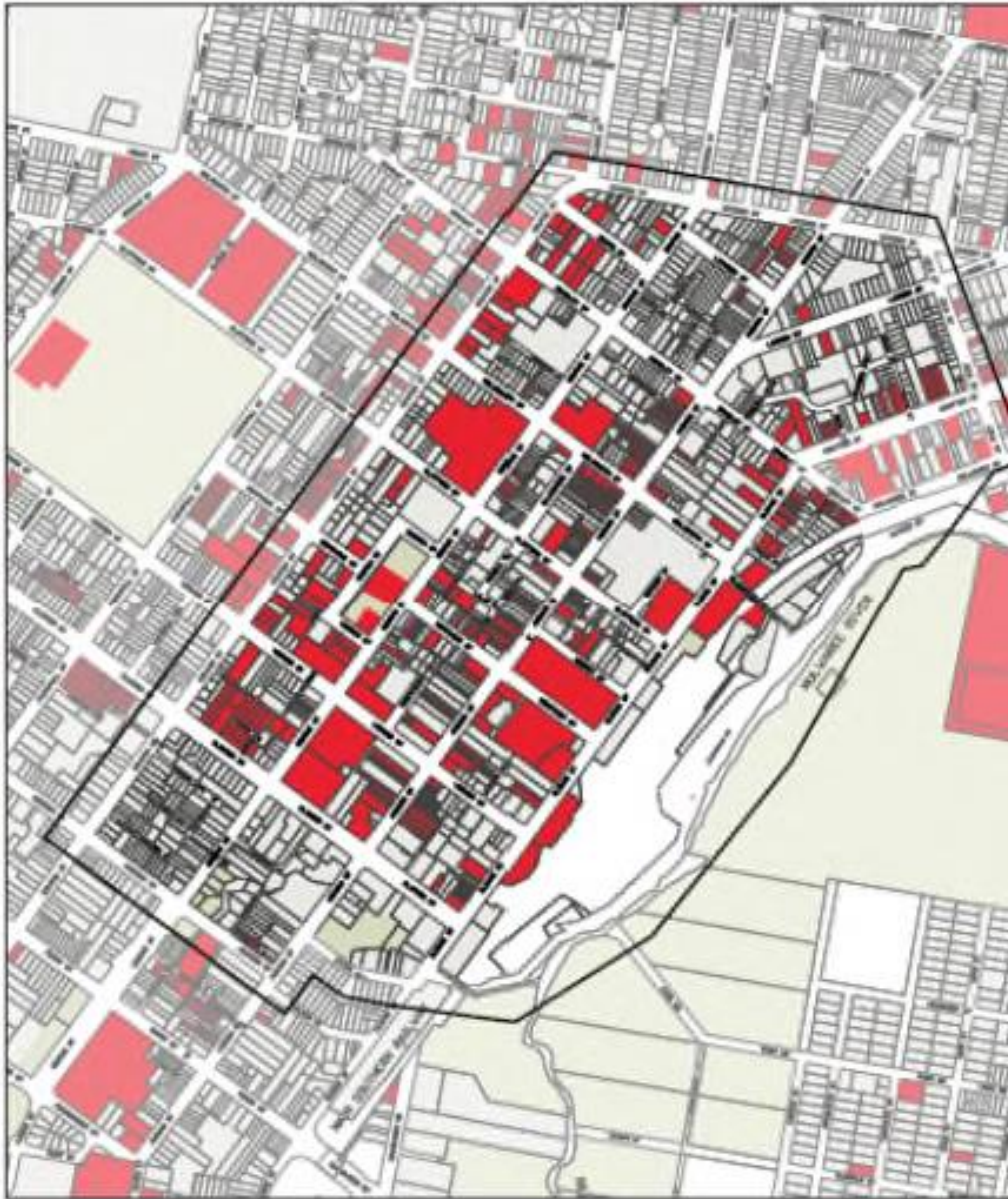


Figure 30: Extract from GMC DCP 2009 - heritage (GMC DCP)

The site is individually listed and is located in close proximity to many individually listed heritage items.

The following building elements are considered to positively contribute to the streetscape

- Roof forms
- Front elevation detail and partially rendered masonry elements
- Symmetrical façade treatment window elements either side of the central front door
- Cohesive building massing and forms along the street frontage and encompassing the adjoining period commercial buildings
- Masonry construction, sheet steel roofing elements and timber window treatment

- Vertical façade composition

The overall building materiality and façade composition contributes to the homogeneity of the two-level commercial streetscape of the Central CBD.

3.0 PROPOSED WORKS

3.1 PROPOSED DEVELOPMENT

THE EXTENT AND AREA OF DEMOLITION

Refer to the Attached Architectural Drawing set – Appendix C

- LOCATION AND EXTENT OF ANY EXCAVATION (IF PROPOSED) AND IF THERE HAS BEEN PREVIOUS GROUND DISTURBANCE

Nil

- PROPOSED WORKS TO THE EXISTING BUILDING/S OR NEW DEVELOPMENTS

Refer to the Attached Architectural Drawing set – Appendix C

- PROPOSED CHANGE OF USE

The existing building has been used as commercial offices housing a local legal practice for many years. During the buildings life time the structure has been a fire house, restaurant, residence, commercial premise and now the proposed change of use will return the upper floor to a residence and convert the ground floor to a Commercial Gallery and Pottery Studio

3.2 BACKGROUND

3.2.1 PRELODGMET CONSULTATION

Initial contact was made with the Goulburn Mulwaree Council Heritage Advisor. Together with the Architect, the heritage advisor walked the site and made comments regarding the preferred design direction. Discussion related specifically to the contribution of the existing building to the streetscape and looking at adjoining building condition. Overall streetscape composition was not addressed as no alteration was proposed. The Non-contributory rear section was examined and found to be of low significance. The internal areas relating to the original building configuration were required to be maintained despite significant wear and efflorescence evident in the original sandstone elements

3.2.2 CONSIDERATION OF ALTERNATIVES

There was an initial massing and development options study and site analysis undertaken. The analysis addressed issues in two specific groups

The first group of considerations related directly to the visual impact of a proposed structure and the potential impact on the street scape.

The second group of considerations looked specifically at compliance with building code, access codes and applicable planning policies relating directly to setbacks, heights etc.

Three options presented the most appropriate potential solutions.

The first has been developed and forms the basis of this Development Application.

The second option had the following characteristics:

1. Demolish the whole of the rear section of the building retaining only the original two storey element
2. Retain and restore the main section as a commercial office
3. Excavate a new basement level for parking
4. Construct new 3 level apartment volume to Bergmark street

Reasons for not pursuing this option

1. The proposal would require extensive stormwater detention and pumping systems to ensure the basement remained dry.
2. The adjoining structures would require protection during excavation and the level of shoring would have been extensive.
3. The overall building form could be too large and may have overpowered the main heritage item

The third option was also discarded and included:

1. Complete demolition and clearing of the site.
2. Development of a contemporary 3 level building volume in the street.
3. No access from Montague Street and new basement parking from Bergmark Street
4. Inclusion of a basement and roof terrace.

Reasons for not pursuing this option

1. In addition to the reasons associated with the second option the demolition of the two contributory elements was considered inappropriate.
2. The council's planning department and strategic planning department would not support full demolition.

4.0 STATEMENT OF IMPACT

4.1 MATTERS FOR CONSIDERATION

4.1.1 FABRIC AND SPATIAL ANALYSIS

The existing buildings are constructed from:

- Masonry sub floor
- Timber framed floor – bearers and joists on isolated stumps
- Masonry internal walls
- Lath and plaster ceiling
- Timber framed cut roof
- Sheet steel roofing
- Full masonry external walls with a mixture of applied finishes including a stucco render and paint
- Timber windows and doors and all associated

4.1.2 LANDSCAPE

The site has no landscape elements. Street trees planted on the road reserve define the angle parking. There is no proposed internal planting proposed as part of the renovation. This is consistent with the overall streetscape.

4.1.3 USE

The current site use was commercial office.

The proposed development will be a 2 bed upper floor apartment with a commercial development occupying the lower floor area.

4.1.4 DEMOLITION

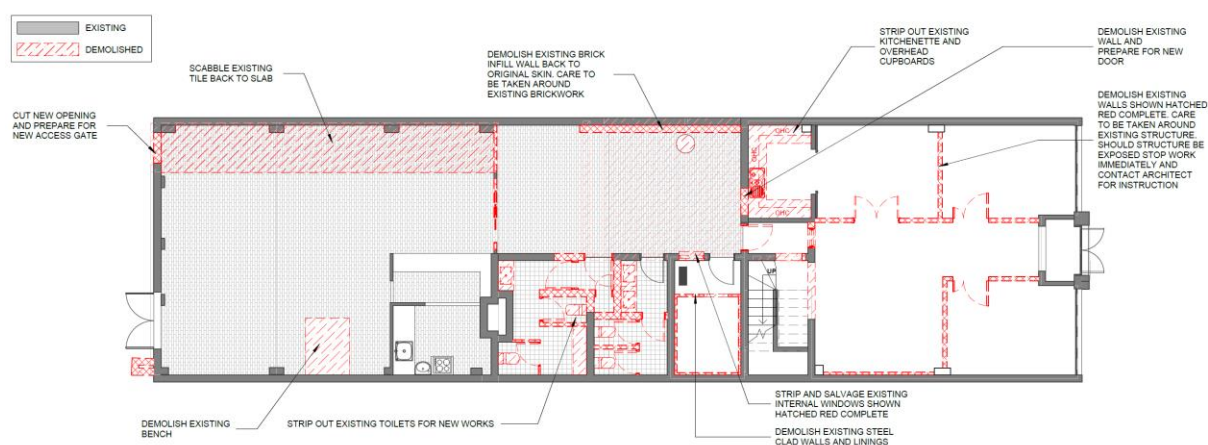


Figure 31: 61-63 Bradley Street – existing buildings proposed areas of demolition highlighted in red. (Source: TLA)

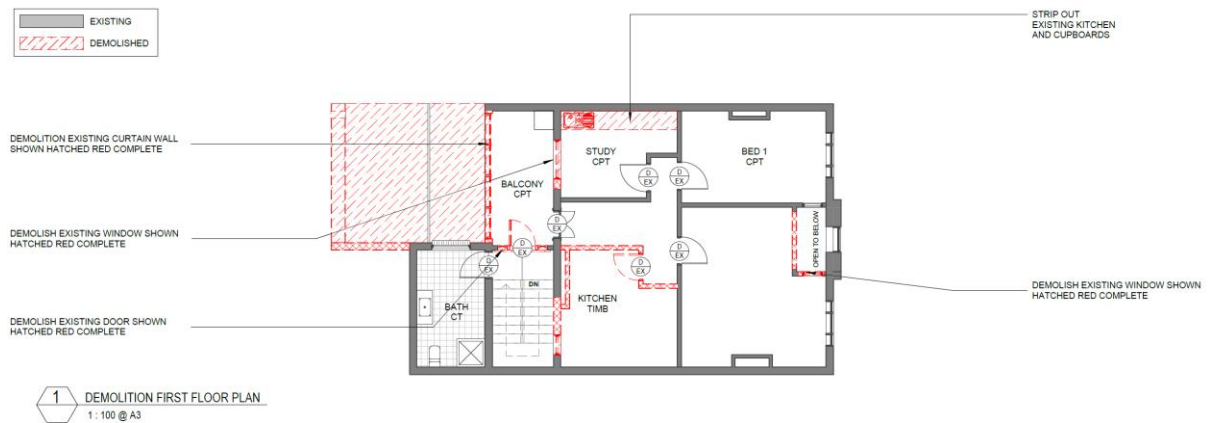


Figure 31: 61-63 Bradley Street – existing buildings proposed areas of demolition highlighted in red. (Source: TLA)

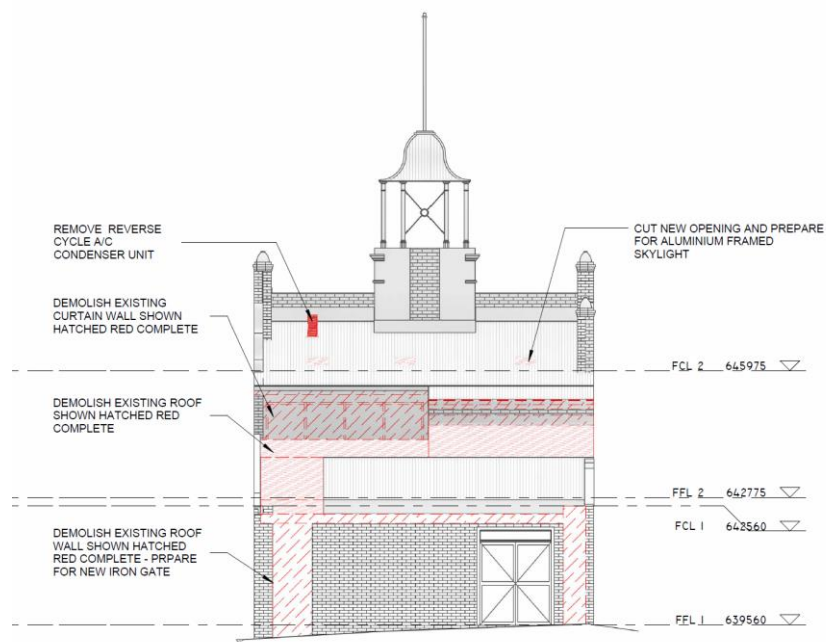


Figure 31: 61-63 Bradley Street – existing buildings proposed areas of demolition highlighted in red. (Source: TLA)

4.1.5 CURTILAGE

The existing commercial buildings flanking the subject site form one of the more significant heritage precincts of the city. The group includes the State listed Boyce Accountancy building and Johnson and Sendal lawyers on the corner of Montague and Bourke Streets. There is a significant vista stretching from Belmore Park through to St Saviors Cathedral.

The rear portion of the Sites backing on to Bergmark street all retain limited Vehicle parking and access.

There is no available area outside the confines of the lot boundaries that is affected by the proposed development. The curtilage to the street address will be maintained in the proposed development.

4.1.7 ABORIGINAL CULTURAL HERITAGE

Not Applicable to this site

4.1.8 HISTORICAL ARCHAEOLOGY

Not Applicable to this Site

4.1.9 NATURAL HERITAGE

Nor Applicable to this Site

4.1.10 CONSERVATION AREAS

The site is located in the main Goulburn Conservation area. The building, as previously noted, is considered a significant contributory element within the greater precinct and is listed as having local significance in Schedule 5 of the GMC LEP.

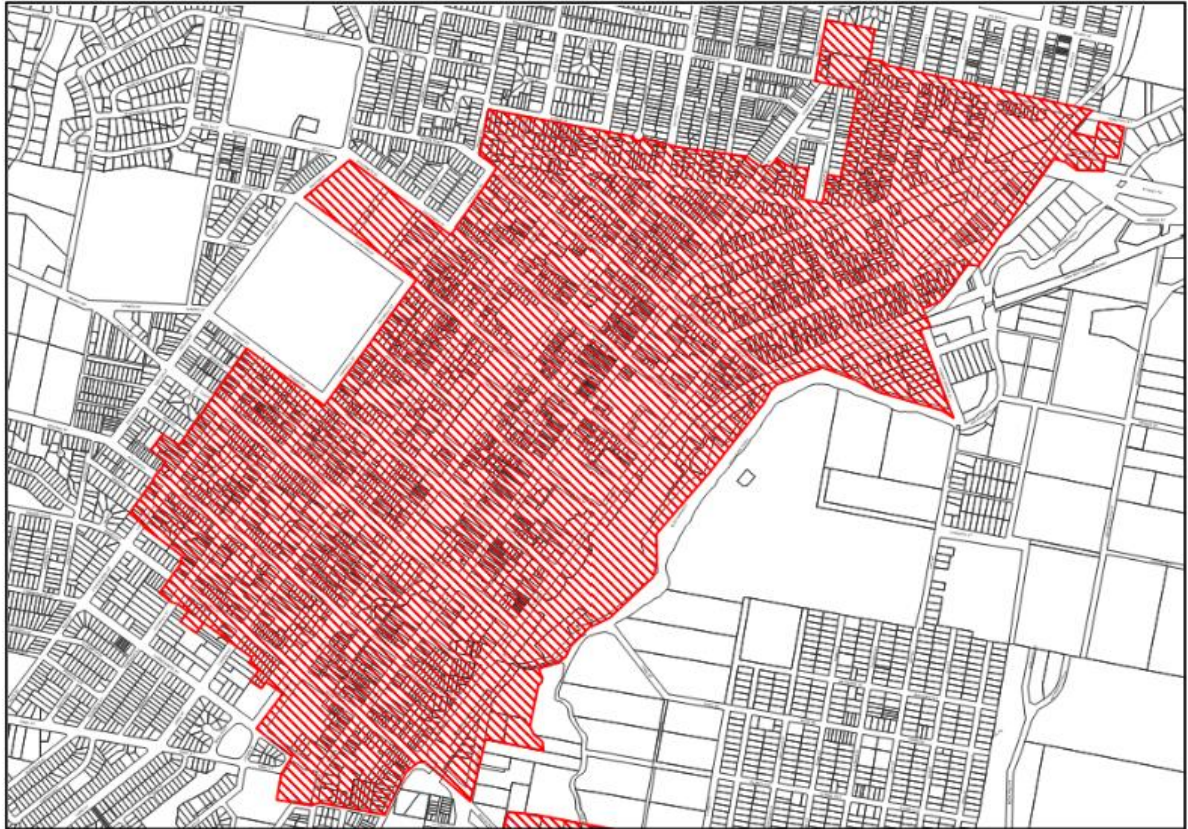


Figure 33: (Source: Goulburn Heritage Review 2018)

4.1.11 CUMULATIVE IMPACTS

Not Applicable to this Application

4.1.12 THE CONSERVATION MANAGEMENT PLAN

Not required as part of this application

4.1.13 OTHER HERITAGE ITEMS IN THE VICINITY

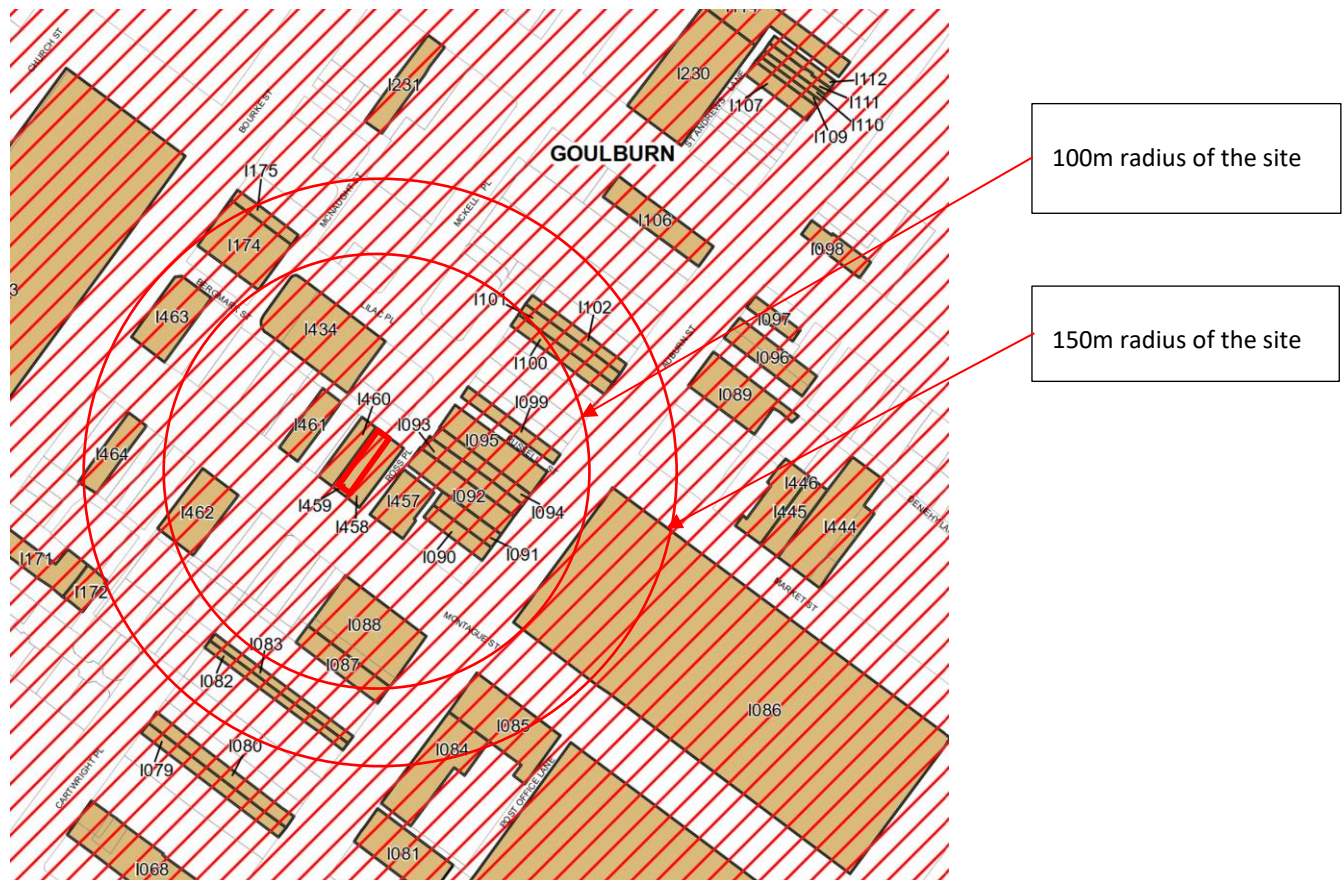


Figure 34: 11 Montague Street Locally listed buildings near the site. (Source: Goulburn Heritage Review 2018)

4.1.14 COMMONWEALTH/ WORLD HERITAGE SIGNIFICANCE

Not applicable to this site.

WORKS ADJACENT TO A HERITAGE ITEM OR WITHIN THE HERITAGE CONSERVATION AREA
(LISTED ON AN LEP)

- WILL THE PROPOSED WORKS AFFECT THE HERITAGE SIGNIFICANCE OF
THE ADJACENT HERITAGE ITEM OR THE HERITAGE CONSERVATION
AREA?

The proposed development will retain the existing commercial building and maintain the existing streetscape and the structures status as a contributory element in the existing streetscape.

- WILL THE PROPOSED WORKS AFFECT VIEWS TO, AND FROM, THE HERITAGE ITEM? IF YES, HOW
WILL THE IMPACT BE MITIGATED?

The proposed development will be altering the noncontributory elements to the rear of the existing lot. The retention of the existing significant street element to the front of the lot and the maintenance of the existing street elevation and street scale will significantly reduce the impact of the residential portion of the development.

Measures to mitigate impact on the streetscape can be summarized as follows:

- Retention of the existing façade and massing in full
- Maintenance of the existing roof form, gutter and floor level datums within the existing street scape
- Setting the new building internally on the lot minimizing views from the street
- Use of single plane roof form to reduce the overall visual impact of the main structure.

WILL THE PROPOSED WORKS IMPACT ON THE INTEGRITY OR THE STREETScape OF THE HERITAGE CONSERVATION AREA?

The proposed development will maintain the existing streetscape scale, massing and form through retention of the existing building. The siting of the alteration will be set back from the street, use similar materials to the existing street and be of a colour scheme that is compatible with the existing buildings. The proposed development is seen as a positive infill development that maintains the character of the street and reactivates one of Goulburn's oldest civic buildings revitalizing the streetscape and providing additional public interaction with the site through the gallery and workshop spaces

5.0 CONCLUSION

5.1 SUMMARY

The proposed redevelopment of 11 Montague Street "the old fire station", consisting of partial demolition to the rear of the existing building, some internal demolition and refitting, reactivation of the ground level as a commercial gallery and creating of a new 2 bedroom apartment to the upper floor will positively redevelop the existing site maintaining the building in the original setting and configuration for decades to come.

In the opinion of the author the proposed development will retain the integrity of the conservation area.

5.2 RECOMENDATIONS

The recommendation of this assessment is that the proposed redevelopment of the existing building known as "The Old Fire Station" be submitted to Goulburn Mulwaree Council for approval.

That conditions be added to the approval requiring the development to be built in strict accordance with the provided architectural documentation plan.

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APPENDIX A: PHOTOGRAPHIC IMAGES



Photo 1: Existing Room upstairs which overlooks Montague Street.



Photo 2: Upstairs room at the front of the building overlooking Montague Street.



Photo 3: Existing enclosed verandah upstairs at the back of the original building.



Photo 4: Landing at the top of the stairs and entrance to enclosed upstairs verandah.



Photo 5: Stairs to 2nd Level.



Photo 6: Existing server from Restaurant days.



Photo 7: Existing rear internal space which would have been Restaurant dining space.



Photo 8: Entrance way to rear WC's and door to original Old Fire Station.



Photo 9: Entrance way to rear WC's and door to dining and servery of old restaurant.



Photo 10: Original staircase from ground floor



Photo 11: View to original staircase from front door



Photo 12: Conference rooms from use of the building as a Law Practice.



Photo 13: Conference rooms from use of building as a Law Practice.



Photo 14: Conference rooms from use of building as a Law Practice looking towards the original fire engine doorway.